

Home Remodel Projects

(Updated March 2023)



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Important Design Considerations

A remodel permit is required if you plan to do ANY of the following:

- Remove walls
- Construct new walls
- Remove sheet rock or wallboard or open any wall or ceiling cavity.

(This includes kitchen backsplash and bath/ shower surrounds)

A remodel project does not allow for the creation of new space in your home. These types of projects would be classified as an “Addition” and different requirements apply. Please see the criteria for Additions if this is the case. If you have a combination project of remodeling and addition, always use the highest ranking project to determine which criteria to use. The project hierarchy is:

- 1. New Home Construction**
- 2. Reconstructions**
- 3. Additions**
- 4. Remodels**

Additional permits will be required for the individual trade contractors (electrical, plumbing, HVAC). The extent of your project could require you to meet the same requirements as a new home for the entire structure, including the installation of a fire sprinkler system, site drainage system and resolution of any violations of required setbacks. Please see the Remodel Work Sheet to determine which criteria to use. A project which exceeds the 50% limits determined in the Remodel Worksheet is referred to as a **Reconstruction**.

[Click here to download and view the permit forms including the Remodel Worksheet](#)

- **Pre-Development Meeting** Pre-Development Meetings are required for new homes, additions, more than 50% remodels and any project in which a change in lot coverage occurs. Pre-Development Meetings are NOT required for less than 50% remodel projects but it is strongly recommended that you schedule a meeting anyways. All contractors are expected to know the development requirements of the city and a misunderstanding of how to calculate remodel projects could be very costly. Remodel projects of 50% or more of the structure require the entire structure to meet current new home building requirements including foundation minimum requirements.

[Schedule a Pre-Development Meeting here](#)

- **Reconstruction** shall mean the reconstruction of 50% or more, either value or living area, (of which a building permit is required) of an existing structure within the existing footprint. This includes structural (wall board or ceiling board is removed), and/or if plumbing or electrical utilities are impacted. The reconstruction shall be cumulative of all remodeling or modification work to the structure within any consecutive twenty-four (24) month period. A project on an existing structure which meets the definition of Reconstruction will be required

to meet all of the New Home requirements including fire sprinkler systems, drainage, tree counts, and other major components of the structure. A worksheet is included with this package to assist you in determining if your project will be considered a Reconstruction project. **The square feet of any room in which wall, floor or ceiling cavities are opened, walls added, walls removed must be counted on the worksheet. Any new climate-controlled space is to be included.**

- **Plan Size** NO DOCUMENTS OR PLANS LARGER THAN 11" X 17" MAY BE SUBMITTED. Only **ONE** set of documents or plans is required. Scale is not required to be maintained but dimensions must be clearly labeled on the plans. No staples or torn pages.
- **Insurance** All contractors requiring permits shall file with the city, and maintain for the entire period during which work pursuant to such permit is being performed, commercial general liability insurance in an amount of not less than five hundred thousand dollars (\$500,000.00).
- **Working Hours** Construction and deliveries may be between the hours of 7:00 a.m. and 6:00 p.m. on weekdays that are not Recognized Holidays, and between the hours of 8:00 a.m. and 5:00 p.m. on Saturdays that are not Recognized Holidays, except in cases of extreme and urgent necessity in the interest of public safety with the approval of the Building Official. No construction shall be done on Sundays. Recognized Holidays shall include New Year's Day, Memorial Day, July 4th, Labor Day, Thanksgiving Day, Christmas Eve and Christmas Day.
- **No Overhead Service** If you plant to replace the electrical load center (breaker panel), all utility service lines for electricity, telephone, gas, cable television any other such service for individual lots shall be underground unless federal or state law or regulations require otherwise.
- **No Street Parking** For any address for which an active building or maintenance permit has been issued, all vehicles shall be required to be parked on the lot for which the permit has been issued. For private streets, parking may not be in the access easement. Vehicles parked temporarily for a period of 30 minutes or less are not required to meet this requirement. Blocking of a street so that less than 15 feet of width for access is not allowed under any circumstance.

Building Codes

- 2018 Editions Of The International Building Code
 - 2018 International Mechanical Code
 - 2018 International Plumbing Code
 - 2018 International Fuel Gas Code
 - 2018 International Residential Code
 - 2018 International Fire Code
 - 2020 ICC Electrical Code
 - 2020 Edition Of The National Electrical Code
- AND the following modifications and additions:

(1) 307.2.1 *Condensate Disposal*. Condensate from all cooling coils, evaporators and any condensate producing appliance shall be conveyed from the drain pan or appliance outlet to an approved place of disposal. Such piping shall maintain a minimum horizontal slope in the direction of discharge of not less than one-eighth unit vertical in 12 units horizontal (1-percent slope). Condensate shall not discharge into a street, alley, walkway, patio or other area which could become unsafe with the presence of water. A water level detection device conforming to UL 508 shall be provided that will shut off the equipment served in the event that the condensate line becomes blocked.

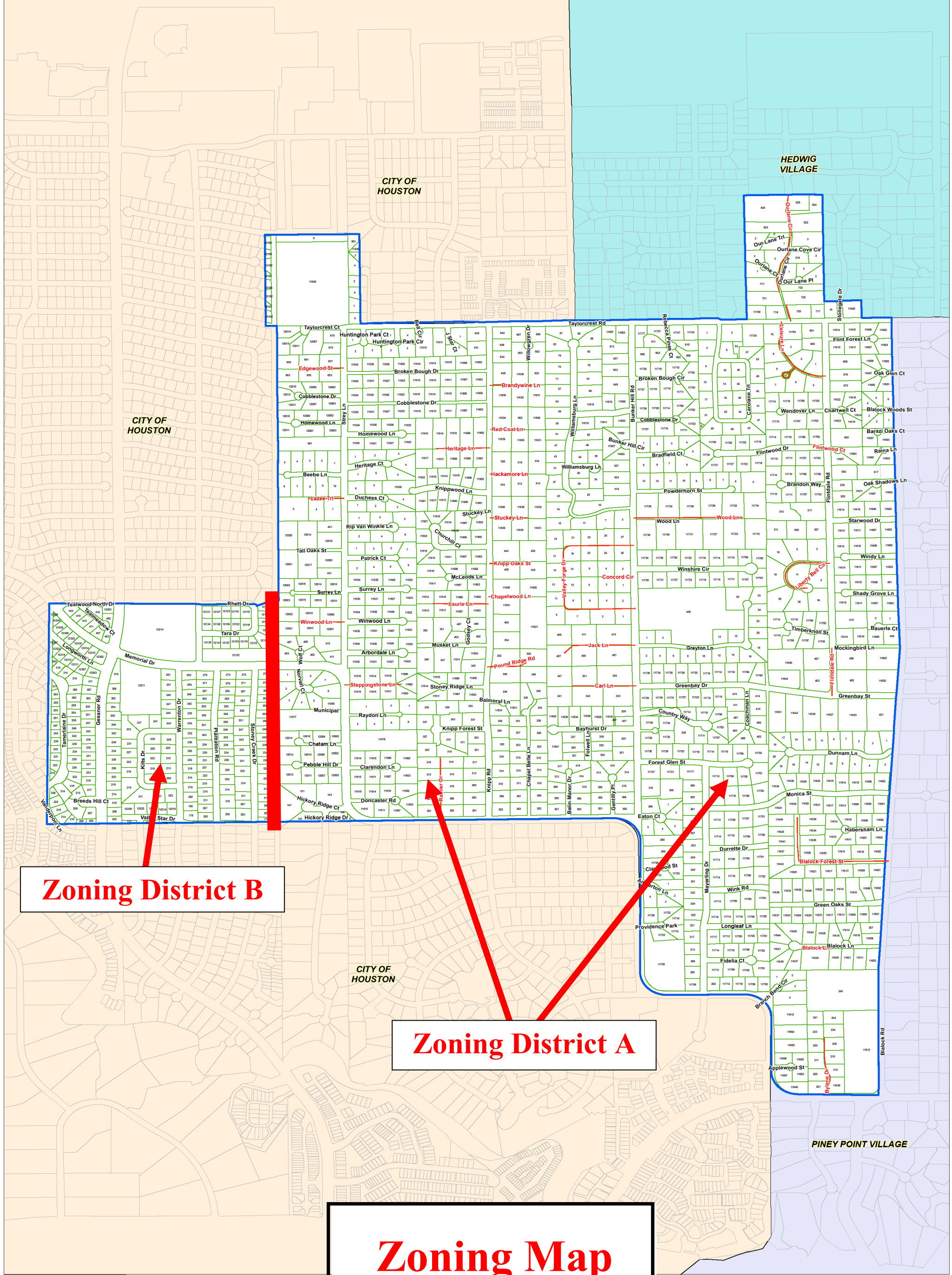
(2) Section 307.2.3 is hereby amended to read as follows:

307.2.3 *Auxiliary and Secondary Drain Systems*. In addition to the requirements of Section 307.2.1 where damage to any building components could occur as a result of overflow from the equipment primary condensate removal system, both of the following auxiliary protection methods shall be provided for each cooling coil or fuel-fired appliance that produces condensate:

1. An auxiliary drain pan with a separate drain shall be provided under the appliance on which condensation will occur. The auxiliary pan drain shall discharge to a conspicuous point of disposal to alert occupants in the event of a stoppage of the primary drain. The pan shall have a minimum depth of 1 ½ inches (38 mm), shall not be less than 3 inches (76 mm) larger than the unit or the coil dimensions in width and length and shall be constructed of corrosion-resistant material. Galvanized sheet steel pans shall have a minimum thickness of not less than 0.0236 inch (0.6010 mm) (No. 24 gage). Nonmetallic pans shall have a minimum thickness of not less than 0.0625 inch (1.6 mm). Any appliance supports placed in the auxiliary drain pan must be of a noncombustible and non deteriorating material.
2. A water-level detection device conforming to UL508 shall be provided that will shut off the equipment served prior to overflow of the pan.

The National Electrical Code, 2020 Edition, including all appendices, as published by the National Fire Protection Association, Inc., save and except the administrative provisions contained in Annex “H” thereof, and the 2018 International Code Council Electrical Code, as published by the International Code Council, authentic copies of which has been filed with the city secretary, are hereby adopted and made a part of this Code of Ordinances with the following amendments:


- (1) Minimum wire size for lighting and branch circuits is 12 gauge in areas of new construction. Number 14 gauge wire is not allowed for any purposes in areas of new construction.
 - (2) All wiring beyond the electrical service meter must be copper. No aluminum wiring allowed beyond the electric meter.
 - (3) All circuits, except those dedicated for specific appliances or required to be protected by GFCI, must be protected with combination breakers for arc and ground fault protection. A testing device shall be provided by the electrician at the final electrical inspection to test the arc and ground fault breakers at the receptacles.
 - (4) Hallways and stair landings of at least 3 feet (914 mm) or more in length as measured horizontally along the wall shall have at least one receptacle outlet. The hall length shall be considered the length measured along the centerline of the hall without passing through a doorway. Additional receptacles are required for each additional length of 12 feet (3658 mm).
 - (5) Receptacle requirements for kitchen islands – Any kitchen island with a work surface area, inclusive of sinks and appliances, of twelve (12) square feet or more must have a minimum of 4 individual receptacles generally distributed around the island.
 - (6) Standby and emergency generators shall be installed in accordance with the National Electrical Code, 2020 and the following restrictions:
 - a. All wiring shall meet all requirements outlined in this code.
 - b. Maximum sound level at anytime shall be 70db or less measured at the property line.
 - c. Generator shall be positioned so that no structure, roof or overhang is over any portion of the generator enclosure.
 - d. Minimum clearance between generator foundation and other structures shall be twenty-four (24) inches or greater as determined by manufacturers' specifications. At no time shall the clearance be less than twenty-four (24) inches.
 - e. No portion of the generator or wiring may be located in an easement or Right-of-Way.
 - f. Generator may not be located in any restricted area or required green space.
 - g. Generator may not be located within the required front yard of a lot.
 - h. Generator cannot be visible from a public or private street.
 - i. A load analysis, generator specifications and one-line electrical diagram must be posted with the permit on the project site.
- (3) 680.23 *Underwater Luminaires*. All underwater luminaires shall be low voltage L.E.D.
- (4) Wireless smoke detectors are acceptable without a signal communication wire if they meet all of the following:
- a. All detection devices must be of the same type and brand.
 - b. All detection devices must communicate interlocally.
 - c. All detection devices must sound simultaneously with an indication as to what area has triggered the alarm.



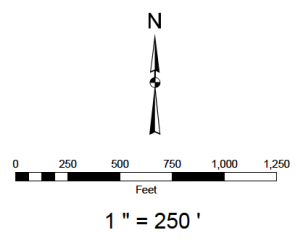
Zoning District B

Zoning District A

Zoning Map


**CITY OF
BUNKER HILL VILLAGE**

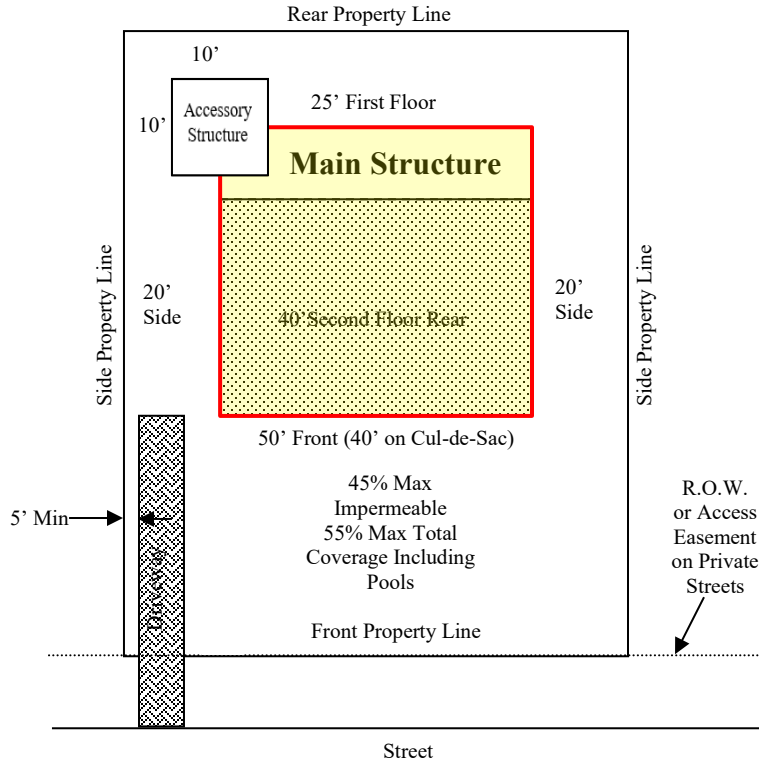
- Legend**
- PRIVATE STREETS
 - PUBLIC STREETS
 - CITY LIMITS
 - Parcel (HCAD)



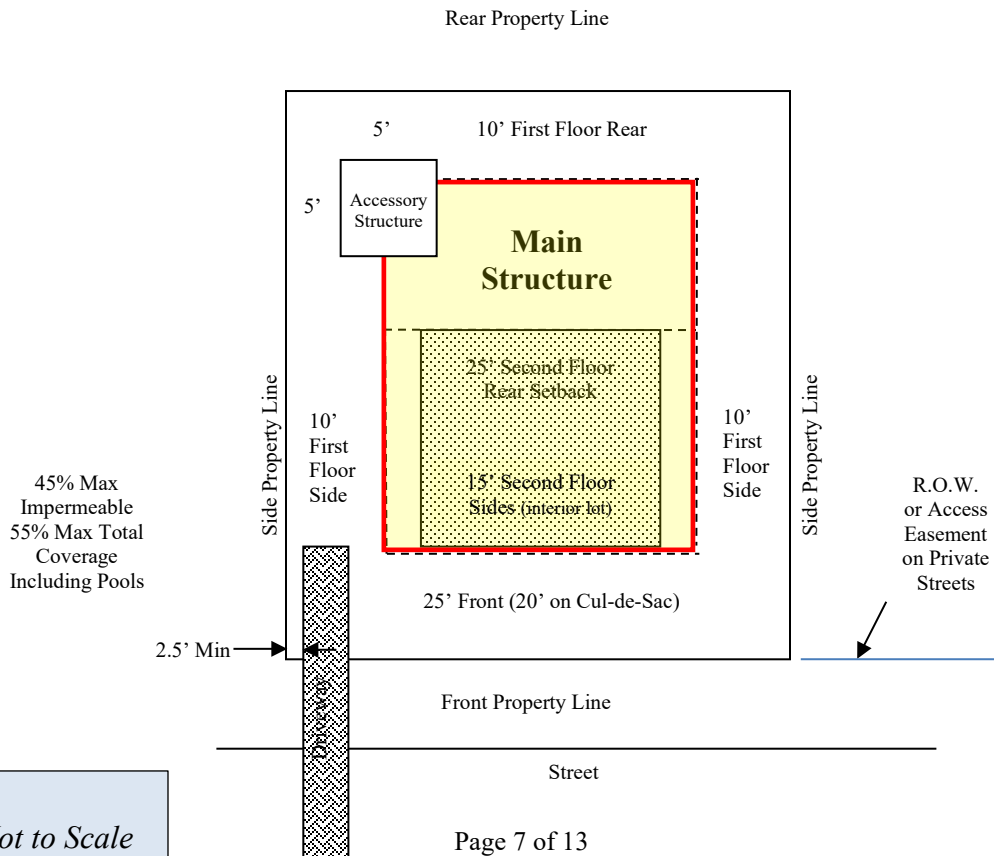
JUNE 2014



District A



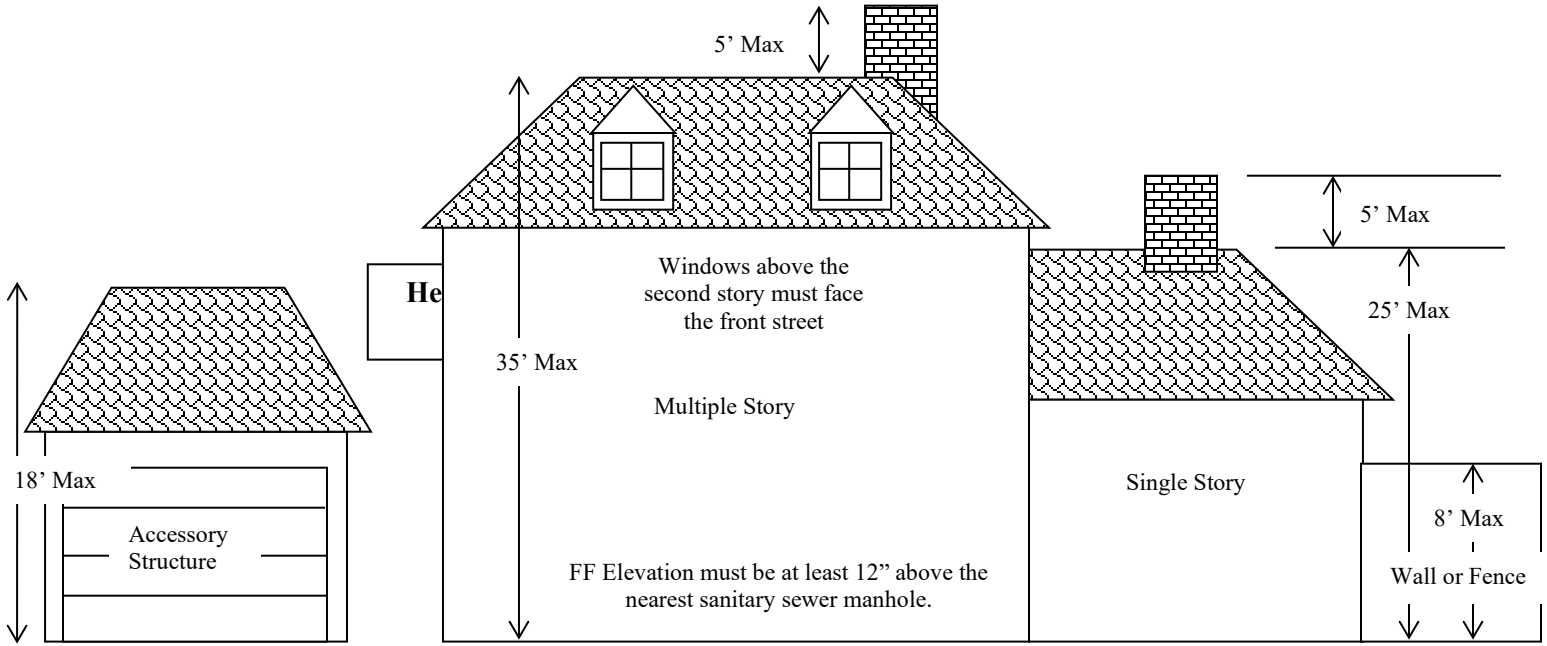
District B



NOTE:
Exhibits Not to Scale

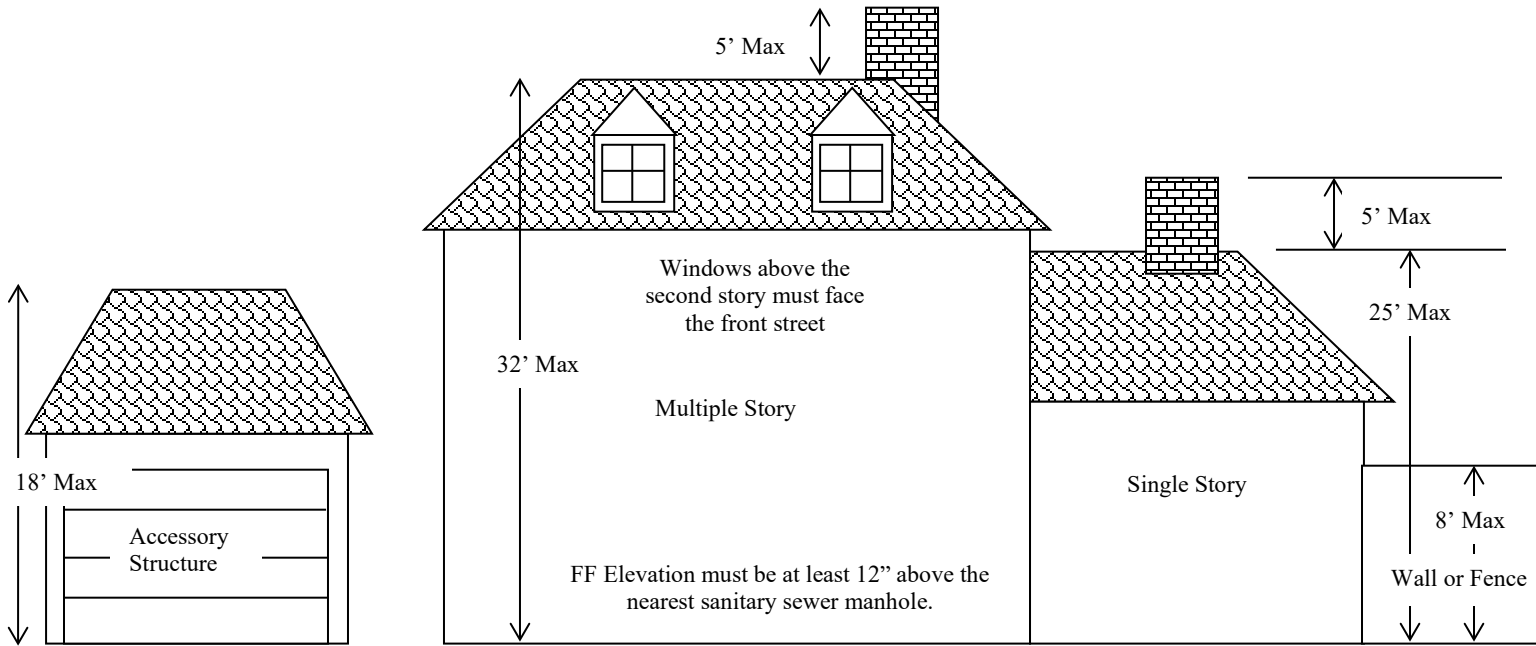


Height Limitations



District A

Fence or wall cannot be in front of the façade of main structure.



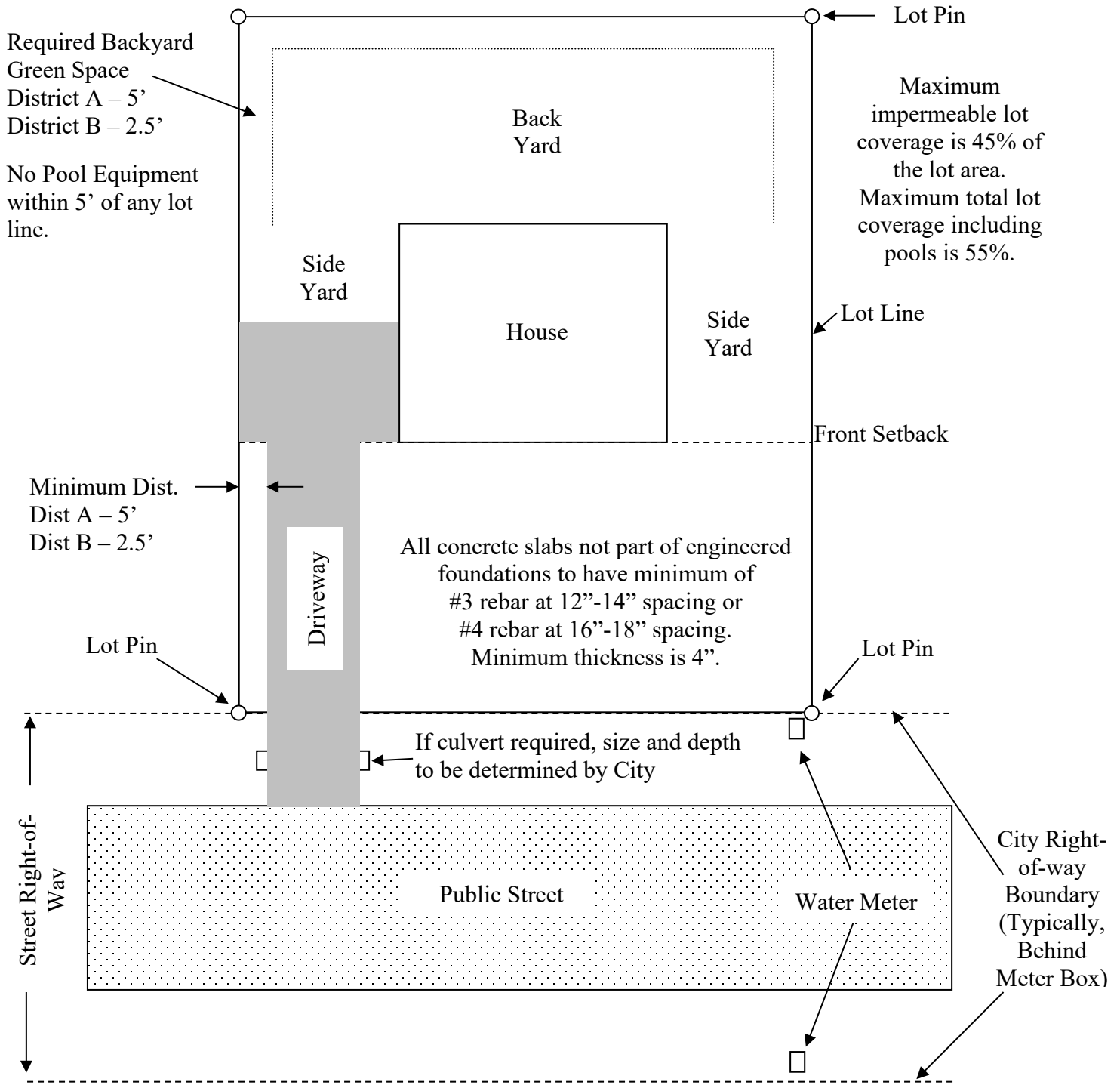
District B

Fence or wall cannot be in front of the façade of main structure.

NOTE:
Exhibits Not to Scale



Driveway, Sidewalk, Pool Decking and Patio Requirements



Permeable pavers must be manufactured and designated as a permeable material. Installation must comply with manufacturer's recommendations for permeable installations. Final inspection of a permeable system will include a test to confirm that all water is transferred to the soil below the paver system.

NOTE:
Exhibits Not to Scale

Remodel Projects

Required Documentation

One set of the following items, no pages larger than 11" X 17", no staples please

These forms are available as a fill in Excel Spreadsheet. You are strongly encouraged to use the Spreadsheet as some results will be automatically calculated. [Download and view permit forms here.](#)

- Contractor Information Form
- Building Permit Application
- Remodel Worksheet
- Floor Plan showing the areas of the remodel highlighted

General Contractor Responsibilities

The general contractor **SHALL PROVIDE A SINGLE PROTECTED AREA FOR ALL PERMITS AND INSPECTION RECORDS** issued for that site.

SANITARY WASTE: All sanitary waste shall be collected in an enclosed portable waste collection unit (portable toilets) approved by the City of Bunker Hill Village. All portable toilets shall be screened from view from any adjacent private property or any public or private roadway with privacy fencing or other decorative screening materials, of a height of not less than the height of the portable toilet. Each portable toilet shall be served at least one (1) time per week.

ON-SITE PARKING FOR WORKERS: All vehicles belonging to construction workers shall be parked on the job site unless special approval by the building official is received. The builder shall provide an all-weather temporary drive to minimize tracking dirt, mud, etc., onto the adjacent street or streets.

HOURS OF WORK NOTICES MUST BE POSTED. The City of Bunker Hill will provide these notices in English and Spanish. The general contractor is to place them in a protective sleeve or have them laminated and post both at the site.

ALL TRASH, DEBRIS, AND LITTER MUST BE PICKED UP DAILY.

Violation of any of the above **CAN RESULT IN STOP WORK ORDERS OR A FINE OF \$2,000 OR BOTH.**



**City of Bunker Hill Village
WORKING HOURS:**

Monday – Friday

7:00 a.m. to 6:00 p.m.

Saturday

8:00 a.m. to 5:00 p.m.

Sunday & Holidays

No Work Allowed



LAS HORAS DE TRABAJO

LUNES – VIERNES

7:00 a.m. hasta las 6:00 p.m.

SABADO

8:00 a.m. hasta las 5:00 p.m.

DOMINGO

DIA DE DESCANSO

No Se Permite Trabajar